



Georgetown-Scott County Kentucky



BP-1

Business, Research, and Technology Park



Prepared by:
Georgetown-Scott County Planning Commission
Kelley Klepper, AICP, Planning Director

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SECTION ONE: STATEMENT OF INTENT

1.0 Introduction

The design guidelines have been created to assist development within the various BP-1 Business, Research & Technology Park areas. These guidelines have been created to foster a quality built environmental development while maintaining the unique character of Georgetown and Scott County. Maintaining such standards will protect the investment of the individual sites as well as the park as a whole.

The design guidelines should direct all project and development design and are made available to allow for clear communication of ideas and expectations for all parties involved in line with the requirements. It is highly recommended that each development review these guidelines and meet with staff early in the process to limit the duplication of time and effort. The Planning Commission encourages preliminary or conceptual meetings to clarify key points of the design guidelines and point out any site specific issues. Such meetings typically reduce oversights in design and can more aptly address staff's expectations with regard to the BP-1 district requirements.

It is important to remember, the design guidelines do not replace any applicable federal, state or local requirements or obligations. All developments must conform to applicable state and/or local building codes, zoning ordinances, subdivision & development regulations, erosion control ordinances and other departmental requirements.

The Planning Commission wants to work with you to facilitate development of your site. If any of the items contained within the design guidelines or any other set of requirements is unclear, please contact a member of our staff to help you clarify and work through the item. In all cases, do not hesitate to contact the Planning Commission staff for answers to your questions and comments.

1.1 Development Process

Step One: Choosing the BP-1 district or a site within a park. It is imperative that the design guidelines be reviewed in order to achieve a complete idea of the requirements for development within this area. Reviewing the design guidelines will help you decide if your proposed facility will fit within the BP-1 district or an existing park.

Step Two: Site selection and design. Once you have selected your site and either purchased or obtained an option on a particular site, your engineers and design professionals should review this document. Section 2 will explain the development plan process. Section 3 will explain the actual design guidelines and related standards. As noted in Section 1.0, we highly encourage a preliminary or conceptual meeting between you, your engineers and design professionals and staff.

Step Three: Review. Formal review of any proposal will be in conformance with the process and procedures contained within the *Subdivision & Development Regulations* and outlined in the *Zoning Ordinance*. The Planning Commission office also maintains a "QuickFacts" brochure on the development plan process for your review.

All major developments are required to be reviewed as preliminary development plans and require formal review by the Planning Commission at their monthly public meeting. All applications for preliminary development plan approval by the Planning Commission must be submitted in accordance with the adopted filing deadlines and fee schedules. In addition, all preliminary development plans must be reviewed by the Technical Review Committee (TRC).

Step Four: Permits. The Planning Commission office is responsible for issuing grading permits subject to review and approval of erosion control plans and the installation of required protective measures. All other permits, i.e., building, electrical, signage, certificate of occupancy, etc., may be obtained through the office of the Chief Building Official. It is important to remember that no building permits may be issued until the Planning Commission has certified and approved the final development plan. Prior to the issuance of a certificate of occupancy by the Chief Building Official, all required improvements must be installed or bonded in accordance with Article VI of the *Subdivision & Development Regulations*.

SECTION TWO: DESIGN AND DEVELOPMENT PLAN REVIEW PROCESS

2.0 Development Plans

A preliminary and final development plan are required for all new construction and expansions or additions to existing structures. The Planning Commission may also require the review and approval of a development plan whenever there is a proposed change in the use of a property. All applications for preliminary development plan approval must be submitted in accordance with the adopted filing deadlines and fee schedules. A copy of the deadlines and fee schedules may be obtained by contacting the Planning Commission office or visiting our web site.

Any application for preliminary development plan approval must be reviewed by the TRC. The TRC comprises representatives of utility companies and the various City/County agencies who routinely work with development. All preliminary development plans must be reviewed by the Planning Commission and may be: (1) approved; (2) approved with conditions – the Planning Commission may impose any conditions deemed appropriate regarding the location, character or other feature of a proposed development; or (3) denied. The development plan approval process is intended to provide for uses that are beneficial to the community, properly integrate the uses permitted within each district with other uses, and provide appropriate provisions for the impact of the proposed use.

Construction plans and final development plans may be approved by staff if the Planning Commission does not request final review and approval of the plan and/or the plan conforms with the approved preliminary development plan. There is no deadline for the submission of construction plans or final development plans to be reviewed by the Planning Commission staff. Any final development plan that requires review and approval by the Planning Commission must be submitted in accordance with the deadline schedule.

2.1 Approval of Plans

No changes of any kind shall be made to any approved plan except when reviewed and approved by the Planning Commission staff, or Planning Commission depending on the type and degree of the change. Unauthorized changes can result in the issuance of a stop work order, withholding of the certificate of occupancy, and/or sanctions by the Planning Commission. No grading can begin on a site until the preliminary development plan and required construction plans, including grading and erosion control plans, have been reviewed and approved. In addition, all required erosion control measures and pre-construction requirements, including construction entrances and temporary sediment basins, must be installed prior to grading.

It is the Planning Commission's policy to review construction plans and any plans not requiring formal review and approval within ten (10) working days; however, failure to either approve or disapprove plans within this time period shall not constitute approval. It is the owner's responsibility to ensure compliance with the approved plans and to notify the Planning Commission staff as to any

revisions or amendments. As previously noted, no building permits may be issued until the final development plan has been reviewed and approved by the Planning Commission.

2.2 Submittal Requirements

The following plans and/or documents are required:

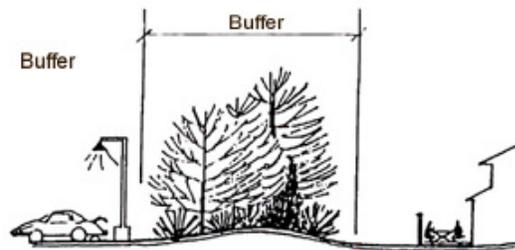
- ❑ A completed application form
- ❑ Calculated review fee
- ❑ Fifteen (15) copies of the development plan containing:
 - ❑ A description of the proposed use including projected numbers of employees
 - ❑ Topographic information
 - ❑ Off-street parking and loading plan, including vehicle use area statistics
 - ❑ Circulation diagram including traffic control devices
 - ❑ Building footprint and sidewalks
 - ❑ Species specific landscape plan
 - ❑ Preliminary drainage plan
 - ❑ Utility easements and required setbacks
 - ❑ Proposed signage including locations, sizes, design, lighting, materials (to be reviewed by the Chief Building Official)
 - ❑ Exterior lighting plan
 - ❑ Open space/greenway (trail) locations
 - ❑ Dumpster and accessory structures location and screening
 - ❑ Architectural plans showing building elevations and building materials
 - ❑ All required certifications and site statistics

SECTION THREE: DESIGN GUIDELINES

3.0 Definitions

The following definitions are applicable to the terms used within the design guidelines. Other definitions may be found in the *Zoning Ordinance* and *Subdivision & Development Regulations*.

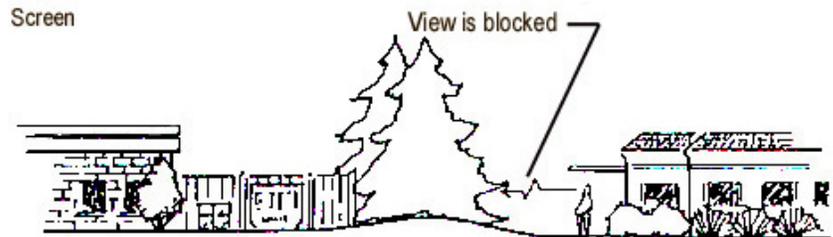
- ❑ Articulate – to give emphasis to or distinctly identify a particular element. An articulated façade would be the emphasis of elements on the face of a wall including a change in setback, material, etc.
- ❑ Berm – an earthen mound designed to provide visual interest on a site, screen undesirable views, reduce noise or provide a buffer from adjoining uses.
- ❑ Buffer – an area provided to reduce the conflict between two different land uses. Buffers are intended to mitigate undesired views, noise and glare--effectively providing greater privacy to neighboring land uses. Typical buffers consist of materials that serve this purpose and include, but are not limited to, plant materials, walls, fences and/or significant land area to separate the uses.
- ❑ Building Face, Front – any building face which can be touched by a line drawn perpendicular to the street.



The buffer area mitigates the conflict between neighboring uses by reducing noise, glare, and visibility from one use to another. Here, land area of sizeable width is planted with vegetation to lessen the effects of a parking lot on a neighboring property.

When elements, such as parking, are encouraged to locate in the side or rear of buildings these areas would be parallel to the building faces and cannot be touched by lines drawn as noted above.

- ❑ Building Face, Public – any building side which is visible from public or private right-of-ways and/or the faces that contain public entry.
- ❑ Building Mass – the building’s expanse or bulk and is typically used in reference to structures of considerable size.
- ❑ Caliper – in landscape and nursery usage, is the diameter of a tree measured six inches above the ground line for up to a four-inch caliper tree. The diameter for trees with a caliper greater than four inches is measured at twelve inches above the ground line.
- ❑ Design Guidelines – statements and graphics intended to direct the planning and development of the built environment in a particular manner or style so that the end result contributes positively to the overall development.
- ❑ Footcandle – the amount of illumination on a surface at a single point. One footcandle is equal to one lumen uniformly distributed over an area of one square foot. The amount of illumination incident on a surface varies with the intensity of the source in the direction of the surface, the distance between the source and the surface and the angle of incidence.
- ❑ Lumen – measurement of the amount of light energy emitted by a light source.
- ❑ Screen – see also “buffer”.
The sole purpose of a screen is to block views. A screen should be constructed of opaque materials and whose height will be effective in obstructing unwanted views.
- ❑ Setback – a prescribed distance or an area between one element and another (i.e., a building and the road right-of-way). Within these design guidelines, the term also refers to:
 - ❑ The minimum distance and the area measured from the property line to the interior of a parcel where buildings may be constructed.
 - ❑ The required distance and the area between the edge of the parking lot pavement and the property line or buildings/structures.
 - ❑ Placing a building face on a line to the rear of another building line.
- ❑ Streetscape – all elements of a development or area that are in view from other points along a street.
- ❑ Swales – also referred to as “drainage ditches”. Low lying or depressed stretches of land which carry drainage or water runoff. Swales are typically wide, gently sloping and covered with grass.
- ❑ Unified Design – design in which each of the individual elements (building orientations,



A screen is used exclusively to block unwanted views. Here a row of evergreen trees and a fence are used to screen a storage area from a neighboring property.



building forms, materials, colors, landscaping, pavement, lighting, signs, etc.) when joined together, appear as a logical and aesthetically integrated whole. The elements of each parcel and the whole development/park should be conceived as part of a family, not necessarily identical but designed with similar or complimentary characteristics. Some repetition of elements also contributes to a unified design but great care should be taken not to repeat entire building designs and/or landscape plans.

3.1 Design Guidelines

3.1.1 Siting Development

Intent: It is the intent of the BP-1 district for properties to be developed with minimal impact on the land and surrounding properties, especially agriculturally or residentially designated properties. It is also the intent of this district to highlight areas of natural or environmental interest.

Guidelines: Buildings and parking areas should be constructed so as to preserve as much of the existing vegetation and natural topography as possible, utilizing it as a natural buffer or screen. Development should occur where the topography is least restrictive and requiring the least amount of site excavation using the following formula:

Slopes of 25 percent or greater = to remain undisturbed

Slopes of 12-24 percent = possible development sites; however, it will be based on erosion control, preservation of vegetation and scenic views

Slopes of 0-11 percent = buildable, subject to the guidelines contained herein

Buildings should be designed and constructed to minimize the impacts on the scenic character of the area and maintain the scenic views from Cherry Blossom Way, U.S. 62, and McClellan Circle (U.S. 460 bypass). In addition to buildings, parking, storage, loading areas and signage should be designed to reduce poor views, noise and off-site glare. If this guideline cannot be met, additional steps may be required to mitigate the negative effects including, but not limited to, screening and buffering.

3.1.2 Building Setbacks

Intent: The required setbacks shall provide a suitable space around development to contribute to the appearance of open space and also to provide for some separation between uses.

Guidelines:

- ❑ All buildings and structures shall be set back from the street right-of-way line a minimum of 50 feet. Where fronting on a state right-of-way, the minimum building setback shall be 50 feet, except where noted otherwise within the *Zoning Ordinance*.
- ❑ All buildings and structures shall be set back from the side lot lines a minimum of 20 feet.
- ❑ All buildings and structures shall be set back from the rear lot line a minimum of 30 feet; when buildings are serviced from the rear, the minimum rear yard setback shall be 50 feet.
- ❑ All buildings and structures shall be set back a minimum of 50 feet from the periphery boundary. Where adjacent to residential or agriculturally zoned property, all buildings shall be set back a minimum of 100 feet.
- ❑ The depth of any setback may be reduced by one-half where located adjacent to a railroad track or spur.

- ❑ Gate or security stations may be excluded from the setback requirements upon approval by the Planning Commission.
- ❑ No accessory buildings or structures shall be permitted within the required front yard except as noted herein.

3.1.3 Building Form

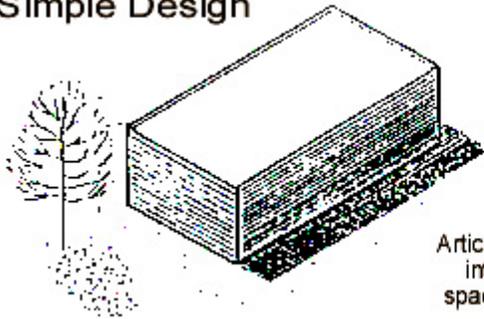
Intent: The building form shall reduce the apparent mass of large buildings, giving buildings visual and aesthetic interest, and relate buildings to the site, other buildings within the development and the park, itself.

Guidelines: Buildings should be designed to be integrated into the development and the character of the property. Where possible, buildings in open areas should utilize low, horizontal forms whereas, buildings in wooded or sloping sites should utilize vertical, more compact forms.

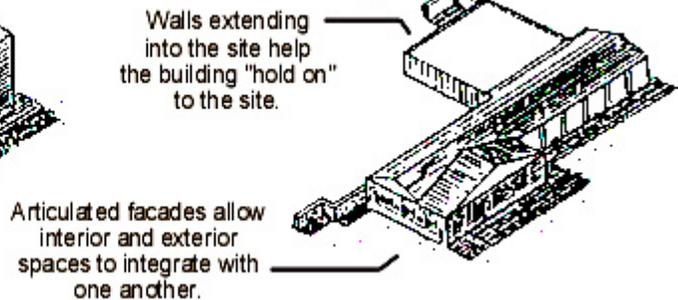


Buildings should be designed to provide for a change in setbacks and/or materials,

Simple Design



Projection Design



discouraging long, continuous facades. Buildings should also incorporate windows to establish a relationship between indoors and outdoors and to further define the building's character. Where possible security issues are involved, special glass or tinting should be used rather than removing the windows from the building.



A simple building design/plan has a weak relation to the site in that there is no interpretation with the space around it or within the development. The simple building face provides a harsh separation

between the interior and exterior. A building that projects in plan has a strong relation with the site as it appears to “hold on” to the land.

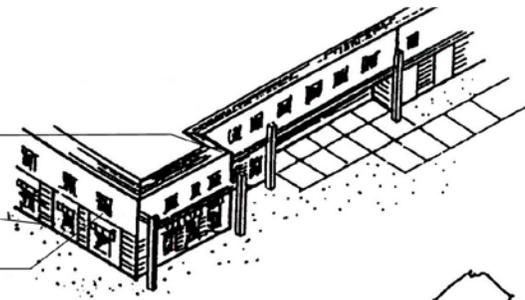


Buildings should also be designed to provide for distinctly different architectural treatment at the ground and lower levels to reduce building mass. This design could incorporate the use of different materials, colors, textures, overhangs, and window detailing. The building design should also incorporate various architectural elements such as roof lines, windows and entries to help break up large building faces and blank walls. Developments should also consider utilizing landscaping and plant materials, of an effective size and scale, to visually break up large building faces and blank walls.

Any building face that is visible from a public or private right-of-way shall not be blank or omitted from the overall design of the building. Any portion of a building that is visible from a public or private right-of-way shall be constructed or faced in a compatible, consistent

Reducing Building Mass

- stepping back the facade
- providing a distinctly different architectural treatment at the ground level
- using windows and a change in materials / patterns to break up the facade into smaller, recognizable parts



Defining the Building Entrances

- Change in setback at the entry
- Plantings delineate and highlight the entry area
- Special paving / change in paving pattern at entry
- Overhead feature provided-not quite indoors, not quite outdoors



manner similar to the primary front of the building or areas of public entry. This will discourage blank wall construction and enhance the visual character of the development. Architectural and landscape elements, effective in scale, may also be utilized if deemed appropriate to visually separate or break up the wall.

3.1.4 Development Density/Building Height

Intent: Density of development on the site shall ensure sufficient open green areas and the density and height shall contribute to a campus-type environment with protected scenic views along the major thoroughfares.

Guidelines:

- In order to achieve the intent of the district and to permit the coordinated arrangement of buildings and facilities, open space and internal road connections, the minimum BP-1 area shall be no less than 25 acres.
- The maximum height of buildings shall be three (3) stories or 40 feet (one story is equal to twelve feet of building).
- The maximum amount of land that can be covered by buildings for any lot within this district is 40 percent.

3.1.5 Building Entry Areas

Intent: The building entry(s) shall be clearly defined and shall provide space for safe and easy movement between the indoors and outdoors.

Guidelines: The development of buildings should be designed to differentiate the entry area(s) from the rest of the building face with a change in setback, color, texture, pattern and/or building material. The entry area(s) could also be delineated by the use of plant materials, mounding, walls, various patterns of sidewalk and/or overhead features (i.e., canopy, building overhang, porch, etc.) to create a transition space between the entry area(s) and the outdoors.

3.1.6 Building Materials and Colors

Intent: Buildings should be designed to utilize materials that will establish a look of quality and permanence. Building materials and colors should be used that establish a visual interest in buildings, walls, fences and signage. The use of building materials should also be encouraged to contribute to the unified park design and continuity within the development.

Guidelines: Developments should use materials that will age without deteriorating and provide for minimal maintenance. Developments could utilize primary and secondary materials of different color and texture to add to the overall architectural and aesthetic appearance. These building materials are encouraged to be utilized in the primary building, accessory structures/screening and signage.

Building materials that are encouraged include brick, stone, stone veneers and stucco type materials. Metal is acceptable in limited amounts; however, all metal buildings and accessory structures, including fences, are unacceptable and prohibited. Building materials and colors should blend with the natural landscape. Radical use of intense or bright colors and/or color patterns are also unacceptable and prohibited.

3.1.7 Service/Storage (loading areas & accessory structures)

Intent: Service areas and accessory structures can detract from the overall visual and aesthetic quality of the site and the entire park. These should not be located in the front yard of any property and screened so that they are not visible from building entry areas, public and private right-of-ways and neighboring properties. Service and accessory structures shall be integrated with the overall building and development design.

Guidelines: Service areas, accessory structures, storage areas, loading/unloading areas and refuse containers should be located within the buildings. If the location within the building is not practical or feasible, these uses shall be located where they are least visible from adjacent properties, building entry areas, and from public and private right-of-ways. When not located within the building, all accessory uses or structures shall be screened in the manner prescribed previously and herein, including earth berms, mounds, plantings, walls and fences. All screening and walls shall be at least 6 feet high and screen the accessory structures or items to be stored.



Loading areas shall be designed to provide safe and efficient flow of traffic. In no case shall any portion of the vehicle extend over the property line or be allowed to obstruct traffic within the vehicle use area or any public or private right-of-way.

Any antenna(e), satellite dishes or other transmission equipment shall not be permitted in the front yard and should be located to minimize its visibility from any public or private right-of-way and building entrances.

Developments that rely on rooftop mechanical equipment are encouraged to utilize low profile equipment and locate it to the center and rear of buildings, out of view from public and private right-of-way. Rooftop equipment shall also be screened with sloped roof lines, parapet walls and/or other architectural features when it cannot be physically located out of view.

3.1.8 Park Entrances

Intent: Entrances to the park and to individual properties shall be clearly defined, attractive and safe. Entrances to the park are one of the most visible aspects of the development and should be designed to integrate the park with the major thoroughfares while minimizing any negative impacts on the visual character of the surrounding area.

Guidelines:

Entrances to the park (at the curb cut) should be highlighted with special landscaping,



lighting and identification signs. The use of special paving to further delineate the entry is encouraged. All paving and entrances should be constructed to industrial standards and capable of supporting anticipated loads and weights.

All entrances into the park and individual properties shall adhere to the current sight distance and sight triangle requirements outlined in the *Subdivision & Development Regulations*. Any proposed landscaping or decorative features within these areas shall be limited in height so as not to obstruct driving sight lines.



Turning radii, into and within the park, shall be designed to accommodate the largest vehicles anticipated on each site. In no case shall the corner radius on any intersection be less than 75 feet.

Landscape medians, into and within the park, shall be a minimum of 10 feet in width and shall be provided where pavement widths exceed 40 feet. Landscape medians are encouraged where possible within the park in order to increase the visual aesthetic appearance of the development.

3.1.9 Parking

Intent: Parking areas shall be safe, convenient, efficient and shall have reduced negative physical and visual impacts on the site and the development.



Guidelines: Parking areas adjacent to public or private right-of-ways shall be screened in accordance with the requirements set forth in the Landscape Ordinance. All parking and vehicle use areas shall contain a minimum 10 percent interior landscaping per the Landscape Ordinance. Developments are encouraged to exceed this amount

whenever possible.

Parking areas shall be located and designed so as to be convenient to the building entrances and with as little negative impact on the site or the development as possible. Parking areas shall be designed to incorporate existing natural areas, including trees and amenity areas. Developments are encouraged to improve parking area appearances through the use of landscape



medians, internal pedestrian accesses (cross-walks), landscape islands at the ends of all parking rows, “breaking up” large parking areas with smaller parking areas. A minimum of one landscape island is required per 12 continuous parking spaces.

The use of earth berms and landscape islands is encouraged to buffer the parking area from public and private right-of-ways, loading/unloading areas and any service/accessory structures.

All parking areas shall be paved or concrete and curbed. No on-street parking is permitted.

3.1.10 Grading, Drainage and Stormwater Management

Intent: Grading, drainage and stormwater management techniques shall be used which limit erosion, establish proper drainage and accommodate development with limited impacts on the site or development. Regional or community-type detention basins are encouraged to be designed and built for the entire park, or as large an area as possible within the development.

Guidelines: The requirements of the *Subdivision & Development Regulations* and the USDA-NRCS office shall be adhered to, at a minimum, for erosion control practices. No grading or site construction may commence until all required erosion control measures have been installed per the approved grading and erosion control plan. Construction entrances must be installed and maintained throughout the development of the site and/or park.

Each development must provide and maintain a stormwater drainage system capable of supporting developed runoff flows from the site. Water quality, as well as water quantity, are important factors in all drainage designs. Developments shall utilize the attached “Best Management Practices” in addressing drainage issues.

Public and private right-of-ways, and parking areas, shall be designed per the specifications contained within the *Subdivision & Development Regulations* with regard to runoff and drainage. In no case, shall drainage be permitted to “surcharge” or flood onto public or private right-of-ways. In addition, sheet flow of storm water drainage shall not be permitted into public or private right-of-ways.

All lots shall be designed to accommodate adequate drainage by maintaining a minimum 2 percent slope across lawn areas and a minimum 1 percent slope on parking and vehicle use areas. All sites should minimize the amount of cut and fill, including removal of trees, with site sensitive development and grading practices. Where driveways, sidewalks, parking areas and vehicle use areas cross drainage ways, culverts or waterways, openings shall be provided to allow for natural drainage.

3.1.11 Landscape Design

Intent: In addition to buildings and landforms, landscape design and plant materials contribute greatly to the character of each site and to the overall development of the park. The use of existing vegetation, especially mature trees, minimizes negative visual and aesthetic impacts while providing a transition between the built and natural environment. Existing and new plant materials shall be effective in relating the development to the site, defining space, screening undesirable views, breaking up large building and wall faces, and providing adequate shade in parking, pedestrian and amenity areas.

Guidelines: Existing vegetation, especially mature trees, shall be retained within the development and incorporated into the overall site design with regard to parking, open space and buffer areas. Building design should incorporate existing and proposed landscape materials to reduce the building mass and break up large, blank walls. Mass plantings are recommended instead of singular, individual plantings.

Buildings and landscape areas should be designed to continue the lines, forms, masses and spaces of buildings. Developments should also utilize landscaping in the foreground and background of entry signs to highlight and visually anchor them to the site.

Minimum acceptable sizes of landscape materials at the time of installation are:

- Deciduous Tree – 3.5” caliper
- Evergreen Tree – 6-8’ height
- Ornamental Tree – 6-8’ height
- Large Deciduous Shrubs – 3’ height, 2.5-3’ spread
- Evergreen Shrubs – 2.5’ height, 2.5’ spread
- Low Spreading Shrubs – 1.5’ spread

3.1.12 Signage

Intent: Signs used in the BP-1 district shall provide clear and consistent directional information, reinforcing an orderly traffic pattern and vehicle movements, be legible from moving vehicles and located so as not to obstruct vehicle or pedestrian views.



Each BP-1 park is encouraged to develop a uniform sign system developed and designed for use throughout the park. This will give the park a unified appearance and continue the visual characteristics for each site. The sign system should specify standards for size, color, form, type style and size, logo placement, message content, materials and general locations for various types of signs.

Guidelines: All signs should be designed to complement the site and the entire park by the use of the following criteria:

- ❑ Each site shall be limited to one ground mounted sign, not to exceed 100 square feet and six (6) feet in height; for developments on corner or double frontage lots, the maximum number of permitted ground mounted signs shall be increased to two (2) with a maximum combined size of 150 square feet. In no case shall any one sign be greater than the maximum 100 square feet.
- ❑ Each site shall be permitted one (1) wall mounted sign per building. Wall mounted signs shall be limited to one (1) square foot per lineal foot of building road frontage up to a maximum of 100 square feet. Developments that contain corner or double frontage lots shall be permitted one wall mounted sign per

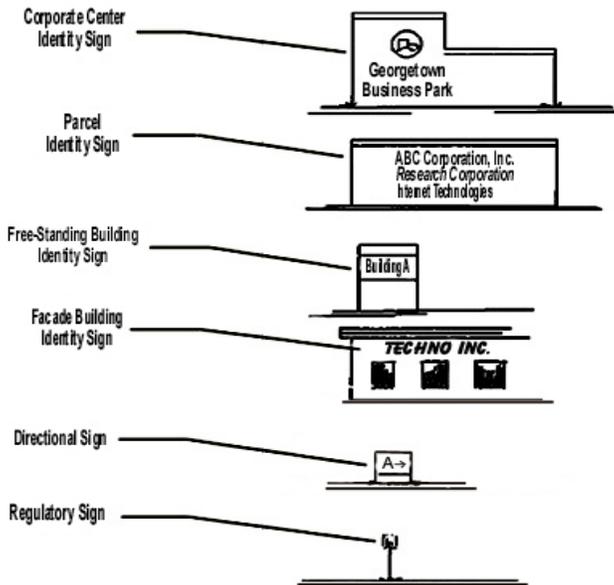


street frontage with a maximum of 100 square feet per sign. In no case shall the maximum amount of square footage for wall mounted signs be combined into one or more signs.

- ❑ Wall mounted signs shall not extend or project above the parapet wall more than twelve (12) inches.
- ❑ No sign shall have flashing, intermittent or animated illumination, including message board or scrolling type signs.
- ❑ All signs are to be externally illuminated; no internal illumination or molded sheet plastic, fully- illuminated signs are permitted.
- ❑ In BP-1 developments exceeding 50 acres, a monument sign may be permitted at the primary entrance to the park identifying the businesses, manufacturers, or research facilities, not to exceed 300 square feet and 30 feet in height. Monument signs located at the



Types of Signs



entrance to the park shall be set back a minimum of 25 feet from the right-of-way and shall be used for identification purposes only. Monument signs greater than 300 square feet may be approved by the Planning

- ❑ Commission as part of the development plan approval process. For developments that provide for two or more primary entrances, the development may propose one additional monument sign not to exceed 200 square feet, subject to review and approval by the

Planning Commission. The primary entrance(s) shall be designated as part of the master plan for the BP-1 park.

- ❑ Roof top signs shall not be permitted.
- ❑ For sites with multiple tenants in one building, the maximum allowable signage shall be calculated based on the length of the building and not based on each tenant. Multiple tenants shall be listed on one sign.
- ❑ Directional and/or regulatory signs may be installed as needed throughout the development, specifically at road intersections, service entrances and parking areas. In no case shall these signs be used or substituted for any ground-mounted or advertising sign.
- ❑ Permanent street signs and traffic control signs shall be installed by the developer prior to certification and approval of either the final subdivision plat or final development plan. All street signs and traffic control signs shall conform with state regulations or the requirements specified in the Manual on Uniform Traffic Control Devices for Streets and Highways.



3.1.13 Lighting

Intent: Interior lighting, either for public and private right-of-ways or vehicle use areas, shall be provided for safe movement of vehicles and pedestrians with minimal light or glare off-site. Due to the intent and nature of the BP-1 district, lighting shall be designed to complement the visual and aesthetic nature of the park and surrounding environment. Lighting features shall contribute to a unified park appearance.

Guidelines: Each site shall provide interior lighting of parking, pedestrian and loading/unloading areas, as needed for safe movement along roadways and entry drives, building entrance areas, and walkways.

Interior lighting structures shall be a maximum 25 feet in height and should be of a dark or neutral color. This will contribute to the unified park appearance and minimize any negative visual or aesthetic impacts. Interior lighting structures, including all parking and security lights shall be cut-off luminaries and shall be designed and located to reduce the amount of glare and light spillage onto adjacent properties.

Building illumination and architectural lighting should be used to articulate and highlight particular building features. Indirect and overhead lighting which reduce light spillage off-site shall be encouraged.

3.1.14 Utilities

Intent: Utilities shall be located to reduce the visual encroachment of equipment and in locations that are least susceptible to damage from weather or moving vehicles.

Guidelines: All utility transmission lines shall be placed underground; utility transformers shall be located in the rear yard. Any above ground or wall-mounted utility structures shall be screened with either architectural elements and/or landscaping.

All utilities and infrastructure, including but not limited to water, sewer, electric, natural gas, telephone/fiber-optic cable, shall be installed prior to the installation of the final course of asphalt in all public and private right-of-ways per City of Georgetown Ordinance 2000-15.

3.1.15 Open Space and Natural Area Preserves

Intent: Open space and natural area preserves, including established waterways and wetlands; are an important aspect of the community and should be incorporated into the overall design of the park. These areas naturally enhance the overall visual and aesthetic quality of the development while providing for preservation of natural habitats. Open space and natural area preserves also provide for environmental, scenic and recreational benefits.



Guidelines: All development within the BP-1 district shall maintain and preserve the existing tree lines and creek corridors. Existing ponds and significant waterways shall be incorporated into the overall design of the development. Any area designated for open space or natural area preserve may not be altered, reduced or removed except as permitted by the Planning Commission.



Existing creek corridors and natural drainage areas may be utilized or developed as part of the Georgetown-Scott County Greenways and Trails System.

Internal greenway and trail connections to the primary trail system are encouraged. Developments providing such connection may receive up to a 10 percent reduction in the number of required parking spaces.

The Urban Service Boundary (USB) is the delineation between urban and rural type development. For developments or lots adjacent to or within the USB, a minimum 100 foot greenspace easement shall be provided in which no structures or vehicle use areas, excluding public and private right-of-ways, and driveways, shall be located. In the event of a conflict between this section and the landscaping and buffering requirements, the more restrictive setback of the two shall apply.

BP-1 (Business, Research & Technology Park)

4.49 Intent

This district is designed to accommodate a wide range of uses including professional, business, governmental and medical offices, corporate headquarters, and uses that rely on advanced scientific and engineering capabilities. This district is also designed to accommodate related limited light or environmentally sensitive manufacturing and production that could benefit from locations in or adjacent to the North Georgetown Employment Center and Royal Spring Aquifer Recharge Area.

The BP-1 district is intended to provide sites in a campus or park type setting with an emphasis on internal connections and access, emphasis on natural characteristics and open space preservation, and buffering of adjacent, less intensive land use. This district is also intended to encourage originality and flexibility in development, and to ensure that development is properly related to its site and to the surrounding developments. Land use within this district is intended to provide for research facilities, pilot plants, prototype production facilities and manufacturing operations requiring a high degree of continual or recurrent application of scientific input and activity as an integral part of the manufacturing process.

4.491 Permitted Uses, Conditional Uses, Accessory Uses, and Prohibited Uses

Type of Land Use	Permitted	Accessory	Prohibited	Example
Adult Oriented Business			X	
Animal Hospitals			X	
Assembly (automotive)			X (I-1R) (5)	VUTEQ
Assembly (elec. appliances)			X (I-1R) (5)	
Automobile sales, service, repair			X	Ernie's, S&S
Automobile sales (auctions) and storage			X	KASP,
Bakery			X	Kern's,
Billboards			X	actual signs
Broadcasting facilities (radio, tv)	X (1)			Adelphia, WRVG (Georgetown College radio)
Cell towers			X	
Chemical (manufacturing)			X	Air Products
Chemical storage			X (I-1R) (5)	Ulrich Chemical
Coal/Coke plants			X	
Commercial feed lot/sales			X	
Concrete Plant			X	
Conference centers	X			Georgetown College - East Campus
Convenience Stores (w/Gas Stations)			X	
Contractor's Office (electrical, building, pest control)			X	
Contractor Sales (wholesale)			X	Ferguson Materials
Corporate/regional headquarters	X			TMMNA
Data processing	X			
Distribution			X	Phoenix Trans., Lexington Cartage
Distribution - Agriculture (tobacco warehouse)			X	
Energy plants	X (4) (5)			Based on type of energy and process
Financial Centers	X			Banks, Mortgage Company (regional center, not branch office)
Freight Terminals			X	Murphy Surf-Air, Roadway

Heavy Industry			X	TMMK, Louisville Forge, Tsusho (?)
Hospitals	X			GCH
Indoor Recreational Facilities		X		Pavilion, indoor soccer, laser tag,
Interpretive Centers		X		Ky History Museum, TMMK Visitors Center
Junk or scrap yards			X	
Laboratories	X			
Laundry/Dry Cleaning		X		
Manufacturing:				
bakery goods			X	
appliances			X (I-1R) (5)	
automotive related (sunroof, fuel cells, seating)			X (I-1R) (5)	
billboards/signs			X (I-1R) (5)	manufacturing not location
bottling			X (I-1R) (5)	
candy			X (I-1R) (5)	
ceramics			X (I-1R) (5)	
china			X (I-1R) (5)	
cosmetics			X (I-1R) (5)	
crate and storage bin assembly			X (I-1R) (5)	
drafting instruments			X (I-1R) (5)	
electrical parts (automotive, etc.)			X (I-1R) (5)	
food products			X (I-1R) (5)	
furniture			X (I-1R) (5)	
meat/meat packaging			X (I-1R) (5)	
medical & dental instruments			X (I-1R) (5)	
music instruments			X (I-1R) (5)	
paper and paper products			X	
pharmaceuticals			X (I-1R) (5)	
plastics (incl. plastic injection molding)			X (I-1R) (5)	
pottery			X (I-1R) (5)	
radios, tv			X (I-1R) (5)	
rubber and metal stamping			X (I-1R) (5)	
rubber products			X (I-1R) (5)	
scientific instments			X (I-1R) (5)	
shoes			X (I-1R) (5)	
tanning, dyeing, etc.			X	
toiletries			X (I-1R) (5)	
toys			X (I-1R) (5)	
welding			X (I-1R) (5)	

Medical offices	X			Urgent Care Center, dentist, chiropractor
Motels, hotels			X	
Oil change facilities			X	Valvoline
Outdoor storage of materials			X	Louisville Forge, D & R Manufacturing
Outdoor theaters and commercial parks			X	Paintball, Drive-In Movie
Parcel delivery station		X		UPS, FedEx
Parks, public and private	X			
Pilot plants (testing)	X			
Production facilities (high degree of scientific input, tech)	X			
Professional offices - engineers	X			
Professional offices - real estate, attorneys	X			job placement services
Professional office - personal services	X			barber/beauty shops, massage therapy

Prototype production facilities	X (5)			
Quarry			X	
Recycling Facilities			X	
Research Activities	X			
Research Facilities	X			
Reservations (call-centers)	X			Delta Airlines, Sears Home Central
Residential uses			X (3)	
Restaurants		X	X	Applebee's, Cracker Barrel
Retail (general commercial)			X	Blockbuster, Kroger, Advance Auto Parts
Retail (pharmacy, book store, hardware)			X	
Retail (other sales)			X	mobile homes, boats, storage buildings flea market
Retail (snack bars, ATM, clinics)		X (2)		
Self-storage (mini-warehouses)			X	
Slaughter house			X	
Training facilities	X			Georgetown College - East Campus
Truck terminals, repair, sales			X	Eastside Trucking, Phoenix Transportation
Type I day care facilities	X			
Warehousing		X (2)		Eagle, Oliver Warehouse (Michael's Crafts) Triport

(1) = Conditional Use

(2) = as part of a permitted use; not stand-alone

(3) = except for an on-site manager

(4) = outdoor storage of materials prohibited;
vehicles must be screened

(5) = Higher standard I-1 use requiring BP-1 Design Standards for site improvements

Uses in **BOLD** indicate "Use on Review" by the Development Authority

4.492 Performance Standards

1. Minimum Size of Zone

In order to achieve the intent of the district and to permit the coordinated arrangement of buildings and facilities, open space and internal road connections, the minimum BP-1 area shall be no less than 25 acres.

2. Maximum Building Height

The maximum height of buildings shall be three (3) stories or 40 feet.

3. Maximum Building Ground Coverage

The maximum amount of land that can be covered by buildings for any lot within this district is 40 percent.

4. Area Requirements

A. Front Yard Setback

All buildings and structures shall be set back from the street right-of-way line a minimum of 50 feet. Where fronting on a state right-of-way, the minimum building setback shall be 50 feet, except where noted otherwise within the *Zoning Ordinance*.

B. Side Yard Setback

All buildings and structures shall be set back from the side lot lines a minimum of 20 feet.

C. Rear Yard Setback

All buildings and structures shall be set back from the rear lot line a minimum of 30 feet; when buildings are serviced from the rear, the minimum rear yard setback shall be 50 feet.

D. Peripheral Boundary

All buildings and structures shall be set back a minimum of 50 feet from the periphery boundary. Where adjacent to residential or agriculturally zoned property, all buildings shall be set back a minimum of 100 feet.

The depth of any setback may be reduced by one-half where located adjacent to a railroad track or spur.

Gate or security stations may be excluded from the setback requirements upon approval by the Planning Commission.

No accessory buildings or structures shall be permitted within the required front yard except as noted herein.

5. Loading Areas

No loading areas shall be permitted in the front yard. In addition, any loading areas shall be located, constructed and/or landscaped so as not to be visible from any public or private road right-of-way.

6. Utilities

All utility transmission lines serving individual uses shall be placed underground. All utility transformers shall be located in the rear yard. In those cases where environmental factors or significant tree lines are present, the Planning Commission may waive this requirement and permit utility transformers to be located in the front yard.

7. Landscaping and Screening

Landscaping and screening requirements shall be in accordance with the Landscape Ordinance contained within the Zoning Ordinance, except:

- A. Where adjacent to residential and agriculturally zoned property, a 50-foot open space preservation easement shall be required. In addition, the property perimeter requirements within this easement shall be increased to 25 feet and contain a double row of evergreen and deciduous trees planted 20 feet on-center. The ratio of evergreen and deciduous trees shall not exceed 2:1.
- B. All vehicle use areas located adjacent to property lines shall be landscaped and screened in accordance with Section 6.13.1C-D and 6.13.2A-D of the Landscape Ordinance.
- C. Developments along arterials or collectors shall incorporate the following buffering standard along the right-of-way:
- D. Additional landscaping and screening may be required by the Planning Commission to effectively buffer adjacent land use within the park as deemed appropriate.

8. Open Space and Natural Area Preserves

This district may include open space and natural preserve areas providing for environmental, scenic or recreational benefits. Any area designated for open space and natural area preservation by the recorded plat or approved development plan may not be altered except with the approval of the Planning Commission.

All development within this district shall maintain and preserve the existing tree lines and creek corridors. Existing ponds or significant water areas shall be incorporated into the overall design of the development.

Existing creek corridors and natural drainage areas may be utilized as part of the Georgetown-Scott County Greenways and Trails System. These areas are identified by the adopted Comprehensive Plan and accepted Elkhorn Creek Trails Committee map.

Where adjacent to the Urban Services Boundary, all developments shall provide a minimum 100-foot greenspace easement in which no structures or vehicle use areas, excluding roads or driveways, shall be located. In the event of a conflict between this section and the required landscaping and screening, the more restrictive setback of the two shall apply; all required landscape and screening requirements still apply.

Internal greenway and trail connections to the primary trail system are encouraged. Developments providing such connection may receive up to a 10 percent reduction in the number of required parking spaces.

9. Signage

Signage shall be in accordance with the following standards:

- A. Each development or lot shall be limited to one (1) freestanding sign, not to exceed 100 square feet and six (6) feet in height; for developments on corner or double frontage lots, the maximum number of permitted ground mounted signs shall be increased to two (2) with a maximum combined size of 150 square feet. In no case shall any one sign be greater than the maximum 100 square feet.
- B. One (1) wall mounted sign shall be permitted per building at one (1) square foot per lineal foot of building road frontage up to a maximum of 100 square feet.

Developments that include double frontage or corner lots, as defined by the Zoning Ordinance, may have one (1) wall mounted sign per road frontage with a maximum of 100 square feet per sign. In no case shall the maximum amount of square footage for wall mounted signs be combined into one or more signs.

- C. Wall mounted signs shall not extend or project above the parapet wall more than twelve (12) inches.
- D. No sign shall have flashing, intermittent or animated illumination, including message board or scrolling type signs.
- E. All signs are to be externally illuminated; no internal illumination or molded sheet plastic, fully illuminated signs are permitted.
- F. In BP-1 developments exceeding 50 acres, a monument sign may be permitted at the entrance to the park identifying the businesses, manufacturers, or research facilities, not to exceed 300 square feet and 30 feet in height. Monument signs located at the entrance to the park shall be set back a minimum of 25 feet from the right-of-way and shall be used for identification purposes only. Monument signs greater than 300 square feet may be approved by the Planning Commission as part of the development plan approval process. For developments that provide two or more primary entrances, the development may propose one additional monument sign not to exceed 200 square feet, subject to review and approval by the Planning Commission. The primary entrance(s) shall be designated as part of the master plan for the BP-1 park.
- G. Roof top signs shall not be permitted.
- H. For sites with multiple tenants in one building, the maximum allowable signage shall be calculated based on the length of the building and not based on each tenant. Multiple tenants shall be listed on one sign.
- I. Directional and/or regulatory signs may be installed as needed throughout the development, specifically at road intersections, service entrances and parking areas. In no case shall these signs be used or substituted for any ground mounted or advertising signs.
- J. Permanent street signs and traffic control signs shall be installed by the developer prior to certification and approval of either the final subdivision plat or final development plan. All street signs and traffic control signs shall conform with state regulations or the requirements specified in the Manual on Uniform Traffic Control Devices for Streets and Highways.

10. Access and Parking

- A. Off-street parking, as regulated by Article II, Section 2.7 of the *Zoning Ordinance* and Article X, Section 1005 of the *Subdivision & Development Regulations*.
- B. On-street parking shall not be permitted.
- C. Vehicular access locations shall be a minimum of 25 feet wide and a maximum of forty (40) feet wide. For access to a state highway, KYTC requirements shall apply. In addition, a KYTC entrance permit will be required prior to either final subdivision plat approval or final development plan approval.
- D. The use of frontage or service roads shall be encouraged to serve individual lots within the park. No direct access to existing roads shall be permitted except at approved locations as determined by KYTC and the Planning Commission; internal access is required.
- E. Internal sidewalks shall be encouraged to promote pedestrian access to open space, natural area preserves and/or the greenways and trails.

- F. Vehicular access locations shall be limited to one (1) access per 150 feet of street frontage or as determined by the Planning Commission Director, Planning Commission Engineer and the City Engineer.
- G. Additional Parking Standards:
 - 1. Required parking for any use not listed in the *Zoning Ordinance* or *Subdivision & Development Regulations* shall be determined by the Planning Director and approved through the development plan process. A parking study may be required for approval of lesser parking standards.
 - 2. If the required parking area cannot be provided on the same lot as the principal use, it may be located on a lot within 400 feet of an entrance used by customers or within 1,000 feet of an entrance used by employees. This (these) lot(s) shall be shown on the development plan for the principal use. In the event the off-premise parking areas are removed or eliminated, or reduced below the required parking standards, the principal use (beneficiary) shall provide either the equivalent number of required number of parking spaces on-premise, approved off-premise lot or the principal use shall be discontinued until these conditions are met. A violation of this provision shall constitute an unauthorized and illegal occupancy of the principal use.
 - 3. All vehicle use areas shall be paved or concrete, no gravel or similar type surface is permitted.
 - 4. If a principal use, building or development having an insufficient number of parking spaces is increased by 50 percent or less (building area), additional parking spaces shall be provided only for that addition. For increases greater than 50 percent, sufficient parking spaces shall be required to bring the total development into compliance. The Planning Commission may require the applicant to bring the total development into compliance if it is determined that numerous building additions have been proposed in order to bypass this requirement.
 - 5. On sites with multiple tenants, the required parking shall be calculated based on the total number of spaces required for each use. The total number of parking spaces required may be reduced if the uses operate on varying, non-overlapping schedules and sufficient parking can be accommodated. The Planning Commission shall review and approve all such applications.

11. Environmental Standards

A. Lighting Standards:

- 1. Any exterior illumination shall be directed away from adjoining properties. For properties adjacent to a residential or agriculturally zoned property, all lighting shall be directed away from and shall not create any impacts on these properties.
- 2. The maximum height of any lighting structures shall be 25 feet.
- 3. Lighting structures are to be a dark or neutral color.
- 4. All parking, road and security lights shall be cut-off luminaries.

B. Stormwater Runoff and Drainage:

- 1. All stormwater discharge shall be designed to minimize impacts on the existing properties and shall also be designed to enhance water quality. Additional water quality measures may be required for those properties that discharge directly into the Royal Spring Aquifer Recharge Area, or Lane's Run Creek and its tributaries.
- 2. Natural drainage corridors shall be preserved.

- 3. Stormwater management shall be in accordance with the adopted “Stormwater Best Management Practices for Water Quantity and Water Quality Control”.
- C. All developments within the BP-1 district shall be designed to minimize any potential impacts on the environment including, but not limited to, noise, stormwater discharge, solid wastes, air, and erosion.
- D. All developments within the BP-1 district shall be connected to sanitary sewers.

12. Building Design

To achieve the desired campus-type and open space setting within the BP-1 district, building size and design are regulated. The design of each building should be complimentary to each other and create an architecturally integrated complex that provides for a transition between surrounding development and the environment.

In order to achieve this goal, buildings shall be designed in accordance with the following goals:

- The maximum height of buildings shall be three (3) stories or 40 feet.
- All building elevations fronting on a public or private street, or where visible from an existing right-of-way, shall be faced in a compatible and consistent manner.
- Building roofs are to be uncluttered; cooling towers, HVAC and ventilation fans, mechanical units, etc., should be either screened using a pitched roof façade or constructed adjacent to the building and properly screened from view by either landscaping or the use of similar building materials.
- Long, unbroken building facades shall be discouraged and shall not exceed 100 feet or 25 percent of the building length, whichever is greater.

BP-1 Business, Research & Technology Park

**CITY OF GEORGETOWN
ORDINANCE NO. 2003-_____**

**AN ORDINANCE RELATED TO THE AMENDMENT
OF THE GEORGETOWN/SCOTT COUNTY ZONING ORDINANCE REGARDING
THE BP-1 BUSINESS, RESEARCH & TECHNOLOGY PARK CLASSIFICATION AND
RELATED DESIGN STANDARDS – PERMITTED, CONDITIONAL AND
PROHIBITED USES**

WHEREAS: The Georgetown-Scott County Planning Commission has conducted a public hearing on the amendment of the BP-1 classification and related design standards specifically regarding the list of permitted, conditional and prohibited uses as outlined herein. The Georgetown-Scott County Planning Commission, based upon their review, has determined the need for clarification of this list as represented by the BP-1 classification and its related design standards;

WHEREAS: This proposed amendment to the Georgetown/Scott County Zoning Ordinance has been submitted to the citizens through a properly advertised public hearing before the Georgetown-Scott County Planning and Zoning Commission conducted at their November 14, 2002, public meeting. The Commission voted unanimously to recommend the adoption of this amendment to the City and County governments of Scott County;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL FOR THE CITY OF GEORGETOWN, KENTUCKY, as follows:

SECTION ONE: The Zoning Ordinance – BP-1 Business, Industry and Technology Park, is amended to include the list of permitted, conditional and prohibited uses included in this ordinance. The amendment will be added to Article IV, Section 4.491-4.494 of the *Zoning Ordinance*, as follows:

BP-1 (Business, Research & Technology Park)

4.49 Intent

This district is designed to accommodate a wide range of uses including professional, business, governmental and medical offices, corporate headquarters, and uses that rely on advanced scientific and engineering capabilities. This district is also designed to accommodate related limited light or environmentally sensitive manufacturing and production that could benefit from locations in or adjacent to the North Georgetown Employment Center and Royal Spring Aquifer Recharge Area.

The BP-1 district is intended to provide sites in a campus or park type setting with an emphasis on internal connections and access, emphasis on natural characteristics and open space preservation, and buffering of adjacent, less intensive land use. This district is also intended to encourage originality and flexibility in development, and to ensure that development is properly related to its site and to the surrounding developments. Land use within this district is intended to provide for research facilities, pilot plants, prototype production facilities and manufacturing operations requiring a high degree of continual or recurrent application of scientific input and activity as an integral part of the manufacturing process.

4.493 Permitted Uses, Conditional Uses, Accessory Uses, and Prohibited Uses

Type of Land Use	Permitted	Accessory	Prohibited	Example
Adult Oriented Business			X	
Animal Hospitals			X	
Assembly (automotive)			X (I-1R) (5)	VUTEQ
Assembly (elec. appliances)			X (I-1R) (5)	
Automobile sales, service, repair			X	Ernie's, S&S
Automobile sales (auctions) and storage			X	KASP,
Bakery			X	Kern's,
Billboards			X	actual signs
Broadcasting facilities (radio, tv)	X (1)			Adelphia, WRVG (Georgetown College radio)
Cell towers			X	
Chemical (manufacturing)			X	Air Products
Chemical storage			X (I-1R) (5)	Ulrich Chemical
Coal/Coke plants			X	
Commercial feed lot/sales			X	
Concrete Plant			X	
Conference centers	X			Georgetown College - East Campus
Convenience Stores (w/Gas Stations)			X	
Contractor's Office (electrical, building, pest control)			X	
Contractor Sales (wholesale)			X	Ferguson Materials
Corporate/regional headquarters	X			TMMNA
Data processing	X			
Distribution			X	Phoenix Trans., Lexington Cartage
Distribution - Agriculture (tobacco warehouse)			X	
Energy plants	X (4) (5)			Based on type of energy and process
Financial Centers	X			Banks, Mortgage Company (regional center, not branch office)
Freight Terminals			X	Murphy Surf-Air, Roadway
Type of Land Use	Permitted	Accessory	Prohibited	Example
Heavy Industry			X	TMMK, Louisville Forge, Tsusho (?)
Hospitals	X			GCH
Indoor Recreational Facilities		X		Pavilion, indoor soccer, laser tag,
Interpretive Centers		X		Ky History Museum, TMMK Visitors Center
Junk or scrap yards			X	
Laboratories	X			
Laundry/Dry Cleaning		X		
Manufacturing:				
bakery goods			X	
appliances			X (I-1R) (5)	
automotive related (sunroof, fuel cells, seating)			X (I-1R) (5)	
billboards/signs			X (I-1R) (5)	manufacturing not location
bottling			X (I-1R) (5)	
candy			X (I-1R) (5)	
ceramics			X (I-1R) (5)	
china			X (I-1R) (5)	
cosmetics			X (I-1R) (5)	
crate and storage bin assembly			X (I-1R) (5)	
drafting instruments			X (I-1R) (5)	
electrical parts (automotive, etc.)			X (I-1R) (5)	
food products			X (I-1R) (5)	

furniture			X (I-1R) (5)	
meat/meat packaging			X (I-1R) (5)	
medical & dental instruments			X (I-1R) (5)	
music instruments			X (I-1R) (5)	
paper and paper products			X	
pharmaceuticals			X (I-1R) (5)	
plastics (incl. plastic injection molding)			X (I-1R) (5)	
pottery			X (I-1R) (5)	
radios, tv			X (I-1R) (5)	
rubber and metal stamping			X (I-1R) (5)	
rubber products			X (I-1R) (5)	
scientific instments			X (I-1R) (5)	
shoes			X (I-1R) (5)	
tanning, dyeing, etc.			X	
toiletries			X (I-1R) (5)	
toys			X (I-1R) (5)	
welding			X (I-1R) (5)	

Medical offices	X			Urgent Care Center, dentist, chiropractor
Motels, hotels			X	
Oil change facilities			X	Valvoline
Outdoor storage of materials			X	Louisville Forge, D & R Manufacturing
Outdoor theaters and commercial parks			X	Paintball, Drive-In Movie
Parcel delivery station		X		UPS, FedEx
Parks, public and private	X			
Pilot plants (testing)	X			
Production facilities (high degree of scientific input, tech)	X			

Type of Land Use	Permitted	Accessory	Prohibited	
Professional offices - engineers	X			
Professional offices - real estate, attorneys	X			job placement services
Professional office - personal services	X			barber/beauty shops, massage therapy
Prototype production facilities	X (5)			
Quarry			X	
Recycling Facilities			X	
Research Activities	X			
Research Facilities	X			
Reservations (call-centers)	X			Delta Airlines, Sears Home Central
Residential uses			X (3)	
Restaurants		X	X	Applebee's, Cracker Barrel
Retail (general commercial)			X	Blockbuster, Kroger, Advance Auto Parts
Retail (pharmacy, book store, hardware)			X	
Retail (other sales)			X	mobile homes, boats, storage buildings flea market
Retail (snack bars, ATM, clinics)		X (2)		
Self-storage (mini-warehouses)			X	
Slaughter house			X	
Training facilities	X			Georgetown College - East Campus
Truck terminals, repair, sales			X	Eastside Trucking, Phoenix Transportation
Type I day care facilities	X			

Warehousing		X (2)		Eagle, Oliver Warehouse (Michael's Crafts) Triport
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- (1) = Conditional Use
- (2) = as part of a permitted use; not stand-alone
- (3) = except for an on-site manager
- (4) = outdoor storage of materials prohibited;
vehicles must be screened
- (5) = Higher standard I-1 use requiring BP-1 Design Standards for site improvements

Uses in **BOLD** indicate "Use on Review" by the Development Authority

4.495 Performance Standards
 UNCHANGED

SECTION TWO: EFFECTIVE DATE: This Ordinance shall take effect upon passage and publication.

The foregoing Ordinance was introduced and read for the first time at the Council's regular meeting January 16, 2003, and for the second time, adopted and approved, at the Council's regular meeting February 6, 2003.

APPROVED BY:

EVERETTE VARNEY, MAYOR

ATTESTED BY:

SUE LEWIS, CLERK